SUMMER 2023 IMPROVEMENTS: PUFFER SCHOOL

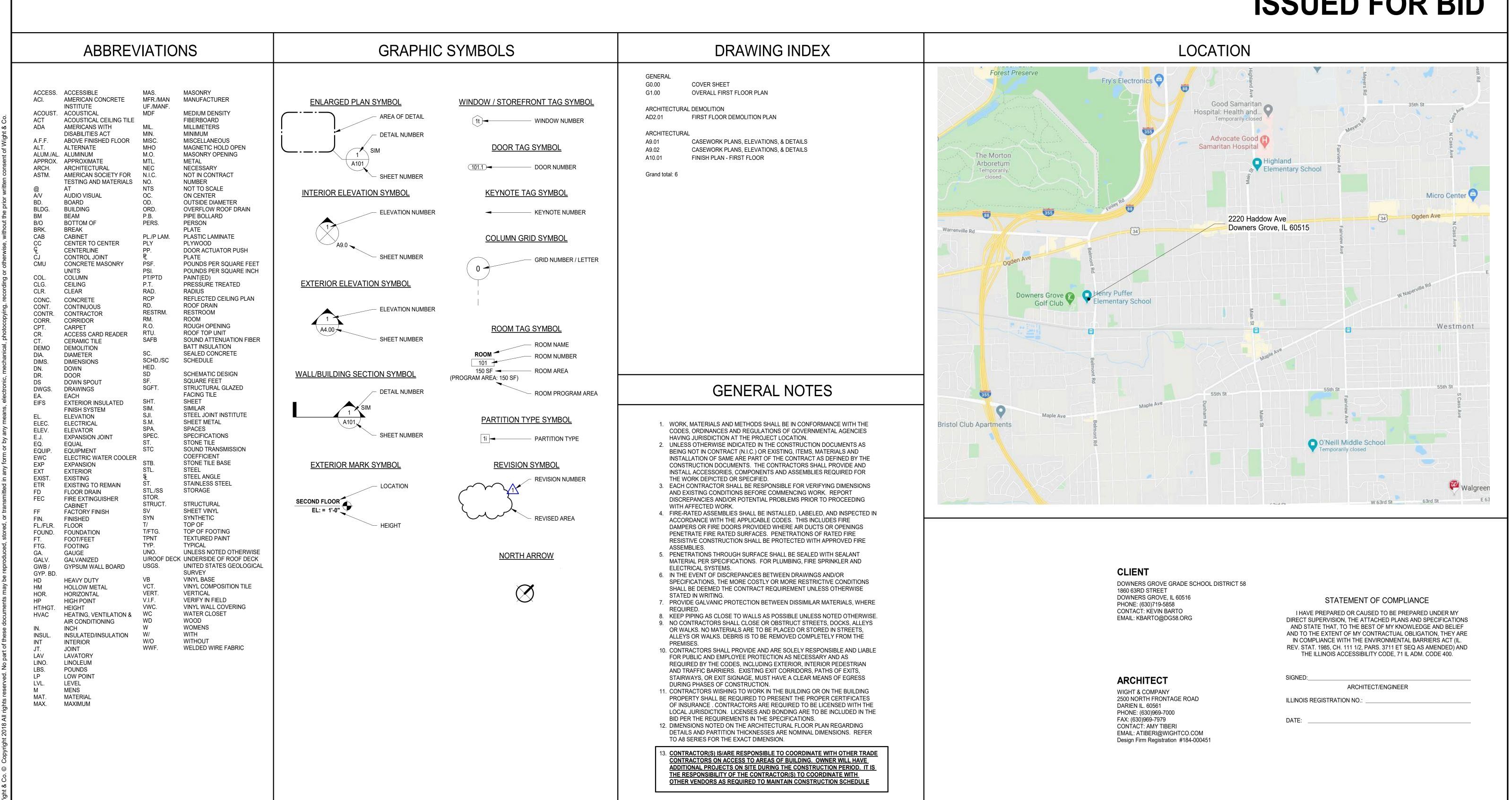
DOWNERS GROVE GRADE SCHOOL DISTRICT 58

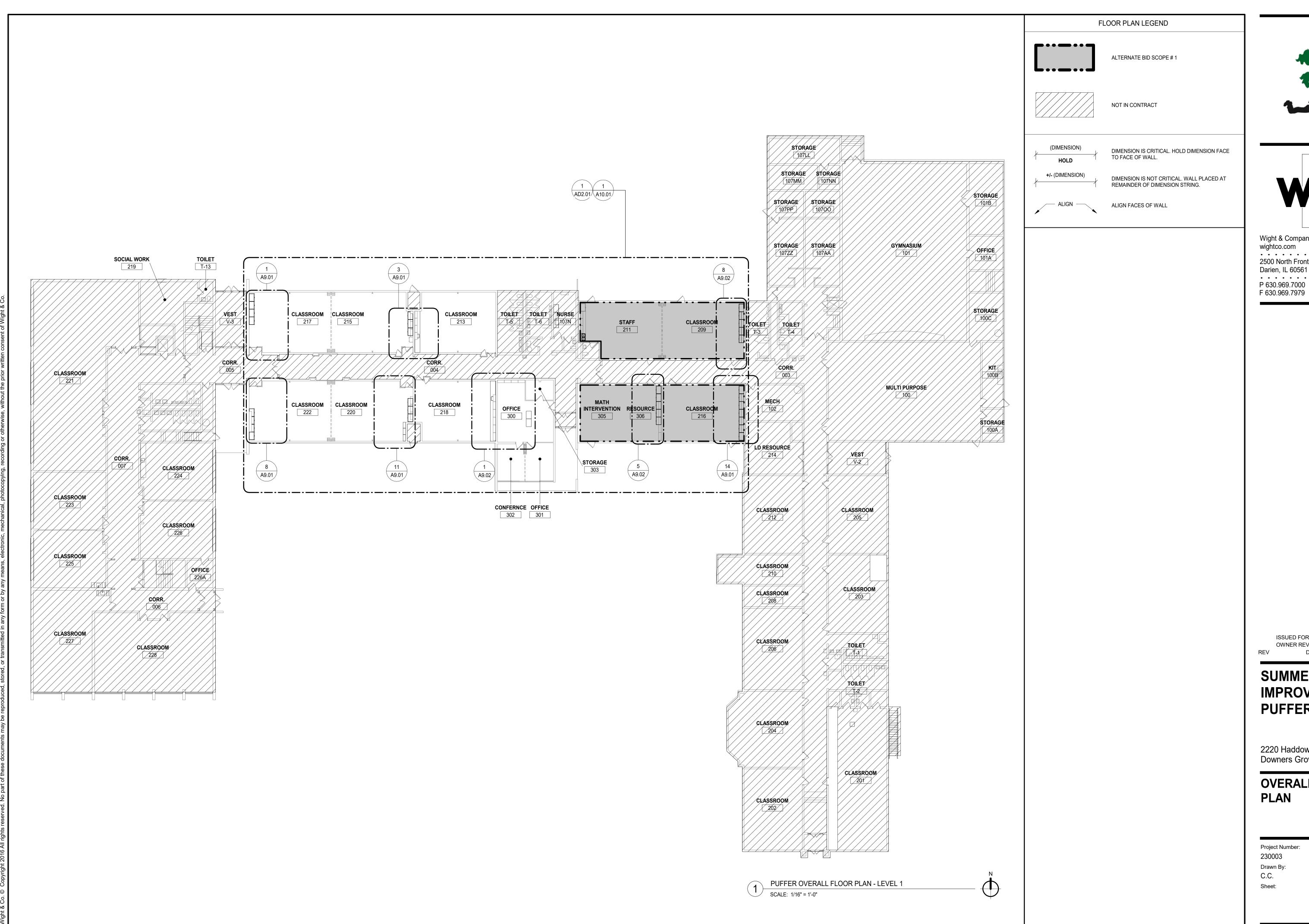
2220 Haddow Ave

Downers Grove, IL 60515

230003 02.14.2023

ISSUED FOR BID









Wight & Company wightco.com 2500 North Frontage Road Darien, IL 60561 P 630.969.7000

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SUMMER 2023 IMPROVEMENTS: PUFFER SCHOOL

02.14.2023 01.30.2023

2220 Haddow Ave Downers Grove, IL 60515

OVERALL FIRST FLOOR PLAN

Project Number: 230003 Drawn By: C.C.

G1.00





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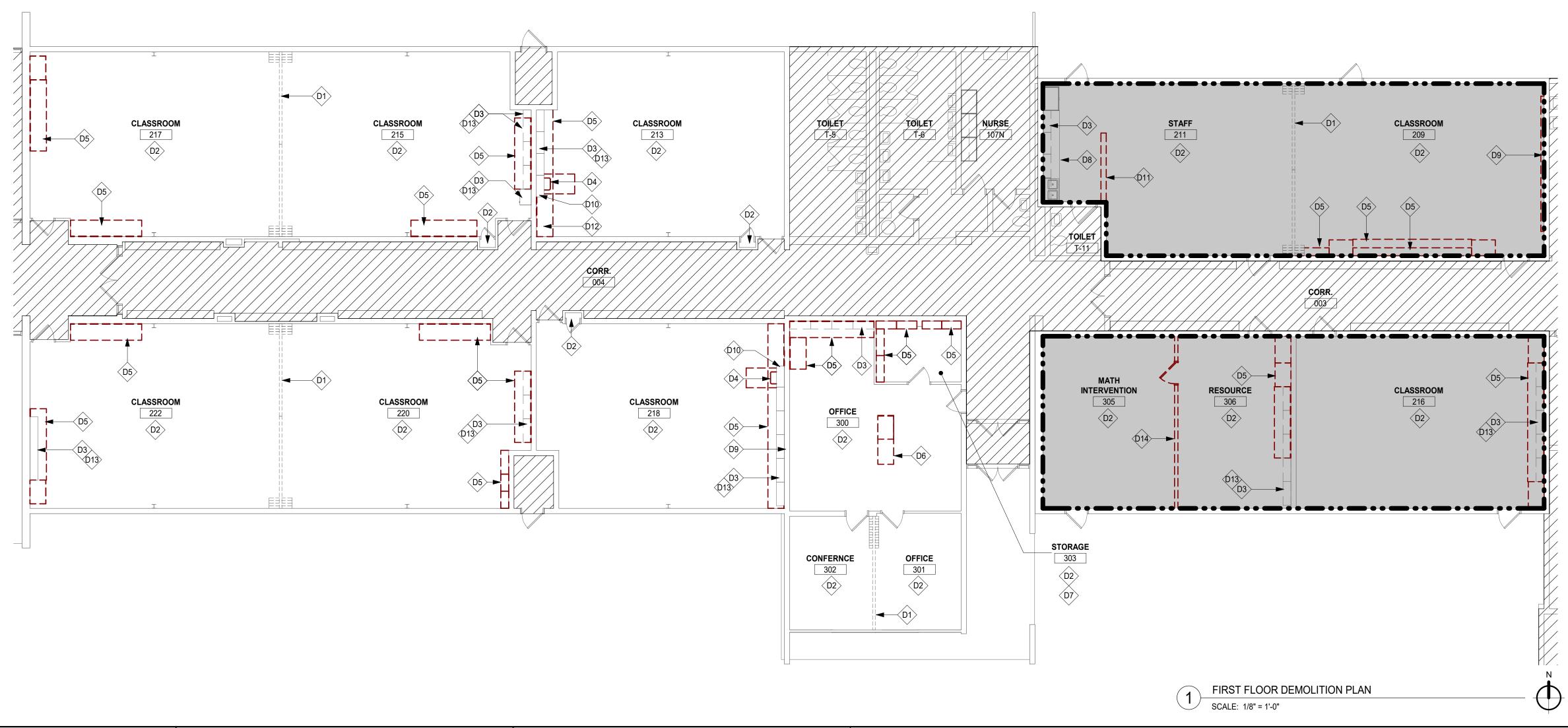
DATE

2220 Haddow Ave Downers Grove, IL 60515

FIRST FLOOR **DEMOLITION PLAN**

Project Number 230003 Drawn By:

AD2.01



FLOOR PLAN LEGEND ALTERNATE BID SCOPE # 1 NOT IN CONTRACT (DIMENSION) DIMENSION IS CRITICAL. HOLD DIMENSION FACE TO FACE OF WALL. +/- (DIMENSION) DIMENSION IS NOT CRITICAL. WALL PLACED AT REMAINDER OF DIMENSION STRING.

ALIGN FACES OF WALL

GENERAL NOTES

1. ALL ITEMS THAT ARE TO BE REMOVED AND REINSTALLED OR SAVED ARE TO BE TAGGED AND CAREFULLY STORED (SEE OWNER FOR LOCATION). 2. ALL AREAS AFFECTED BY DEMOLITION TO BE PATCHED, REPAIRED, & LEVELED TO MATCH EXISTING ADJACENT SURFACE (MATCH EXISTING CONDITION AT DOOR JAMBS) VERIFY IN FIELD.

. THE CONSTRUCTION DOCUMENTS INDICATE THE OVERALL AREAS OF WORK. INCIDENTAL WORK ASSOCIATED BUT NOT SHOWN ON THE CONSTRUCTION DOCUMENTS MAY BE REQUIRED OUTSIDE THE PROJECT AREAS. THIS WORK IS PART OF THE CONSTRUCTION CONTRACT AND IS TO BE COMPLETED IN ACCORDANCE WITH THE CONTRACT REQUIREMENTS AT NO ADDITINOAL COST TO THE OWNER.

4. ALL ITEMS INDICATED TO REMAIN ARE TO BE PROTECTED FROM DAMAGE. DAMAGED ITEMS ARE TO BE PATCHED & REPAIRED OR REPLACED AS REQUIRED TO MATCH ADJACENT LEVEL OF FINISH AND CONSTRUCTION, AT NO ADDITIONAL COST TO THE OWNER.

WHEN THE REMOVAL OF EXISTING SURFACE MATERIAL IS REQUIRED TO COMPLETE CONTRACT WORK AND A NEW FINISH IS NOT SCHEDULED, PATCH/REPAIR AND PRIME THE AFFECTED SURFACE TO RECEIVE NEW FINISH. 5. NEW SLEEVES AND OPENINGS IN THE EXISTING FLOOR, WALL & CEILING

CONSTRUCTION ARE TO BE SEALED WITH FIRE SAFETY MATERIAL. ALL MISC. ITEMS (CHALKBOARDS, PENCIL SHARPENERS, ETC.) THAT INTERFERE WITH THE COMPLETION OF CONTRACT WORK BUT ARE NOT SHOWN TO BE REMOVED ARE TO BE REMOVED, STORED, AND REINSTALLED, AT NO ADDITIONAL COST TO THE OWNER. IN THE EVENT THAT ITEMS CANNOT BE REINSTALLED IN ITS ORIGINAL LOCATION COORDINATE NEW LOCATION WITH ARCHITECT/OWNER.

8. U.N.O. CONTRACTOR TO REMOVE EXISTING FLOORING AND BASE AS REQUIRED TO ACCOMMODATE DOOR ASSEMBLIES. PATCH/REPAIR AS NECESSARY TO MATCH ADJACENT SURFACES.

9. REFER TO MEP-FP DRAWINGS FOR DEMOLITION / REMOVAL / RELOCATION AND INSTALLATION OF FIXTURES AND DEVICES. 10. REFER TO SHEET A0.1 FOR TYPICAL FIXUTRE MOUNTING HEIGHTS AND ADA

COMPLAINT PLANS, ELEVATIONS, AND DETAILS. 11. UPON REMOVAL OF DOORS, SHORE OPENINGS AS REQUIRED. SECURE ALL NEW FRAMES PER MANUFACTURERS RECOMMENDATIONS. PROVIDE LINTELS AS REQUIRED. SEE STRUCTURAL DRAWINGS.

12. ON DOORS THAT ARE TO BE REMOVED RETURN ALL DOOR HARDWARE TO OWNER PRIOR TO DISPOSAL. 13. ALL ELECTRICAL DEVICES & ASSEMBLIES BEING AFFECTED BY DEMO OF

DOORS TO BE REINSTALLED AND RECONNECTED AT NO ADDITIONAL COST TO 14. ALL DIMENSIONS ARE TO OUTSIDE FACE OF WALL MATERIAL (GYPSUM BOARD DEMOLITION KEY NOTES

EXISTING MOVABLE WALL TO REMAIN. INSTALL FLOORING UNDER AS REQ'D. TWO LAYERS OF CARPET OVER VAT. AREAS/ ROOMS WITH FLOORING CONTAINING ASBESTOS. ASBESTOS ABATEMENT IS NOT PART OF THIS CONTRACT AND SHALL BE REMOVED BY ASBESTOS CONTRACTOR INCLUDING

D3 UPPER SHELVING AND CASEWORK TO REMAIN.

DEMOLISH EXISTING PLUMBING FIXTURES BY OTHERS. D5 CASEWORK REMOVED BY OTHERS.

D6

CASEWORK TO BE REMOVED AND SALVAGED BY OTHERS.

VAT REMOVED BY OTHERS. ROOMS WITH FLOORING CONTAINING ASBESTOS. ASBESTOS ABATEMETN IS NOT PART OF THIS CONTRACT AND SHALL BE REMOVED BY ASBESTOS CONTRACTOR

D8 EXISTING CASEWORK TO REMAIN. INSTALL FLOORING AROUND AS REQ'D. EXISTING ELECTRICAL OUTLETS TO BE REMOVED AND REINSTALLED BY

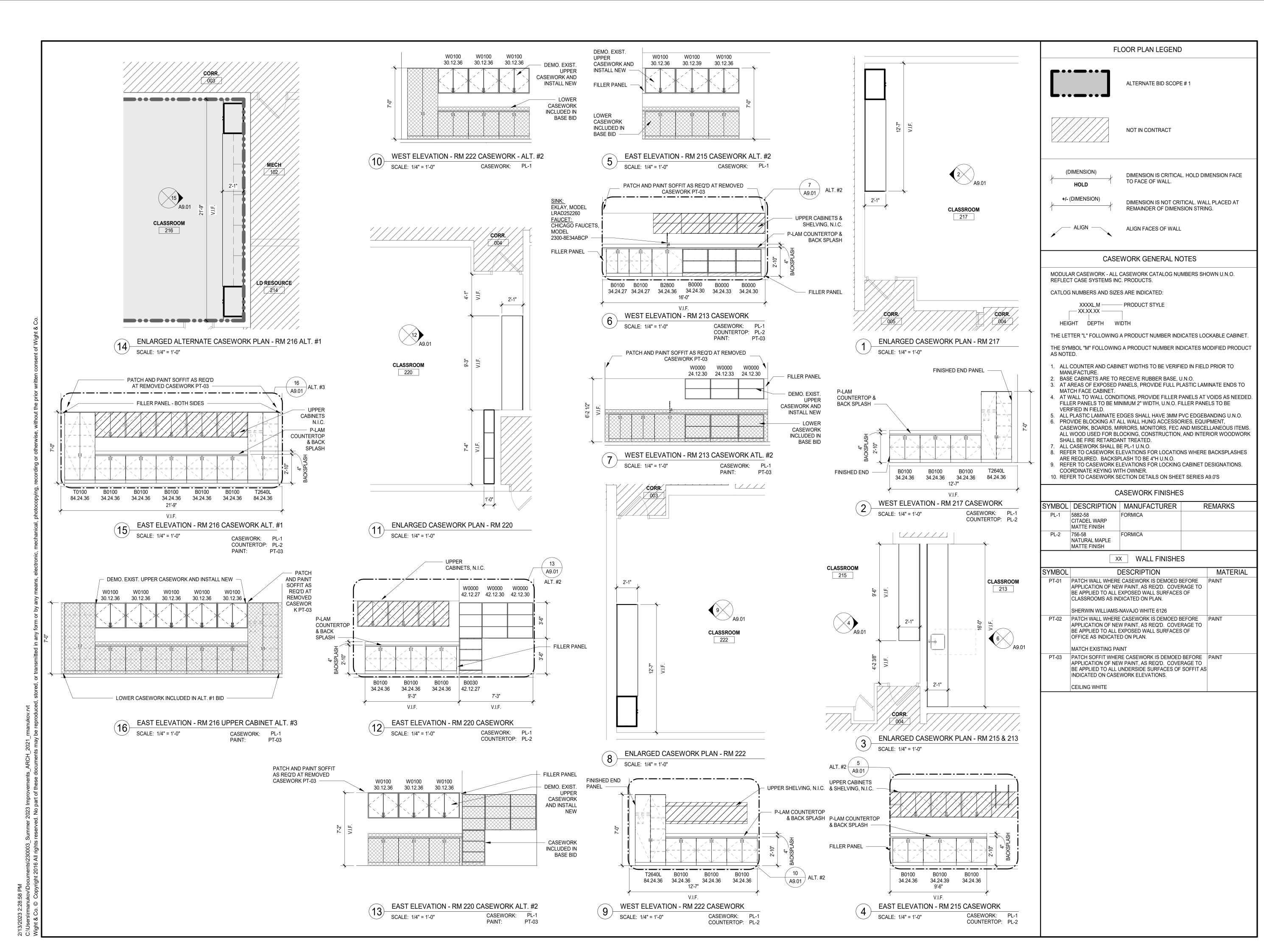
D10 SUPPORT BRACKET INSTALLED BY OWNER PRIOR TO CASEWORK DEMO. D11 DEMO. EXISTING METAL STUD AND GYPSUM WALL BY OTHERS.

D12 PATCH AND REPAIR SOFFIT AT REMOVED CASEWORK WITH DRYWALL AS REQ'D. PAINT SOFFIT.

D13 UPPER CASEWORK REMOVED BY OTHERS IN ALT. #2 AND ALT. #3 BIDS.

D14 EXISTING HM DOOR FRAME AND WOOD DOOR DEMO BY OTHERS.

OR MASONRY) UNLESS NOTED OTHERWISE.







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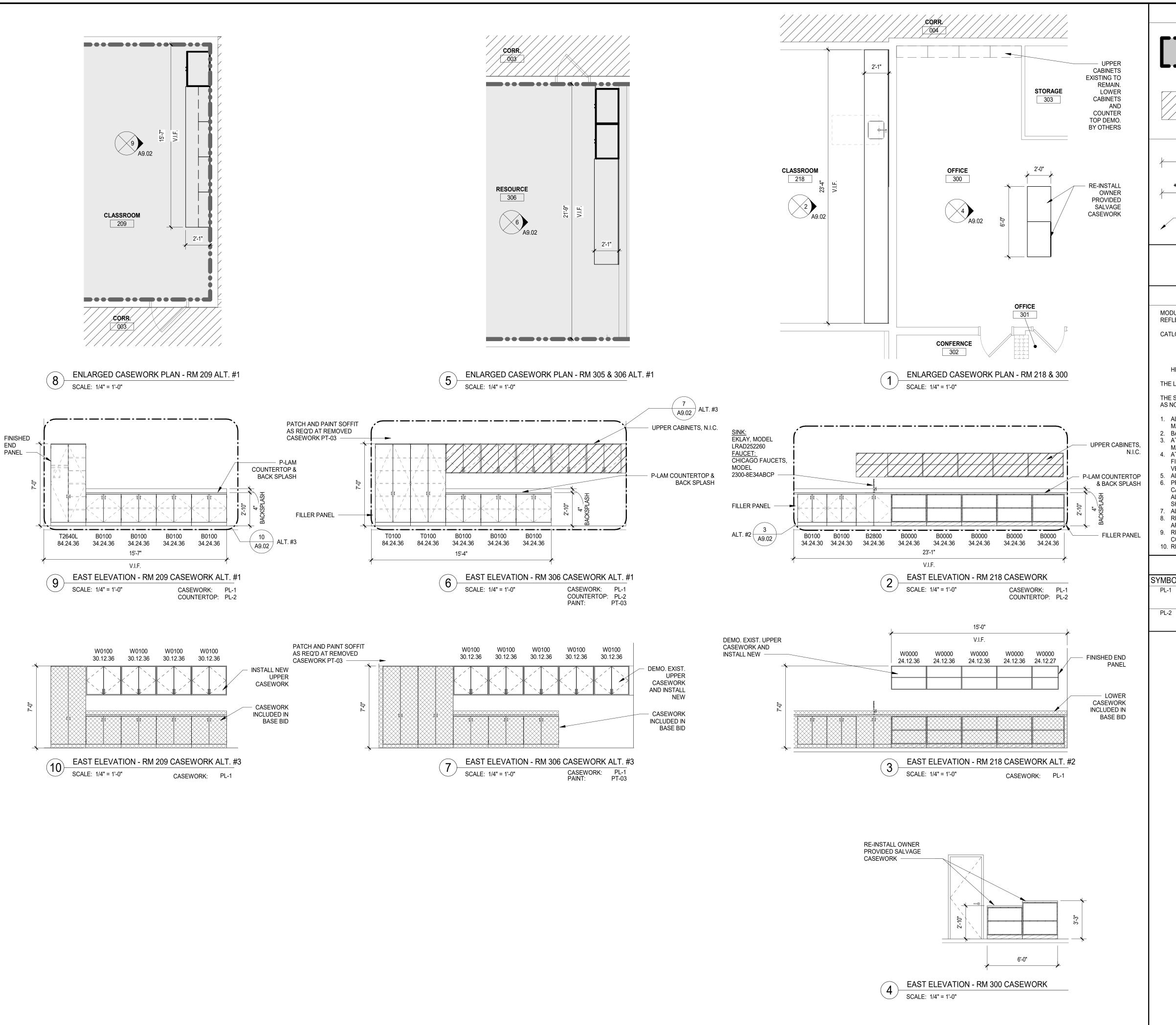
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2220 Haddow Ave Downers Grove, IL 60515

CASEWORK PLANS, ELEVATIONS, & DETAILS

Project Number: 230003
Drawn By: C.C.

A9.01









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CASEWORK GENERAL NOTES

ALTERNATE BID SCOPE # 1

DIMENSION IS CRITICAL. HOLD DIMENSION FACE

DIMENSION IS NOT CRITICAL. WALL PLACED AT REMAINDER OF DIMENSION STRING.

NOT IN CONTRACT

TO FACE OF WALL.

ALIGN FACES OF WALL

MODULAR CASEWORK - ALL CASEWORK CATALOG NUMBERS SHOWN U.N.O. REFLECT CASE SYSTEMS INC. PRODUCTS.

CATLOG NUMBERS AND SIZES ARE INDICATED: XXXXL,M ——— PRODUCT STYLE

HOLD

___ XX.XX.XX — HEIGHT DEPTH WIDTH

THE LETTER "L" FOLLOWING A PRODUCT NUMBER INDICATES LOCKABLE CABINET.

THE SYMBOL "M" FOLLOWING A PRODUCT NUMBER INDICATES MODIFIED PRODUCT

1. ALL COUNTER AND CABINET WIDTHS TO BE VERIFIED IN FIELD PRIOR TO

MANUFACTURE.

2. BASE CABINETS ARE TO RECEIVE RUBBER BASE, U.N.O.

3. AT AREAS OF EXPOSED PANELS, PROVIDE FULL PLASTIC LAMINATE ENDS TO MATCH FACE CABINET.

4. AT WALL TO WALL CONDITIONS, PROVIDE FILLER PANELS AT VOIDS AS NEEDED. FILLER PANELS TO BE MINIMUM 2" WIDTH, U.N.O. FILLER PANELS TO BE

PROVIDE BLOCKING AT ALL WALL HUNG ACCESSORIES, EQUIPMENT,

ALL WOOD USED FOR BLOCKING, CONSTRUCTION, AND INTERIOR WOODWORK SHALL BE FIRE RETARDANT TREATED.

8. REFER TO CASEWORK ELEVATIONS FOR LOCATIONS WHERE BACKSPLASHES ARE REQUIRED. BACKSPLASH TO BE 4"H U.N.O.

9. REFER TO CASEWORK ELEVATIONS FOR LOCKING CABINET DESIGNATIONS.

COORDINATE KEYING WITH OWNER. 10. REFER TO CASEWORK SECTION DETAILS ON SHEET SERIES A9.0'S

CASEWORK FINISHES

SYMBOL	DESCRIPTION	MANUFACTURER	REMARKS
	5882-58 CITADEL WARP MATTE FINISH	FORMICA	
	756-58 NATURAL MAPLE MATTE FINISH	FORMICA	

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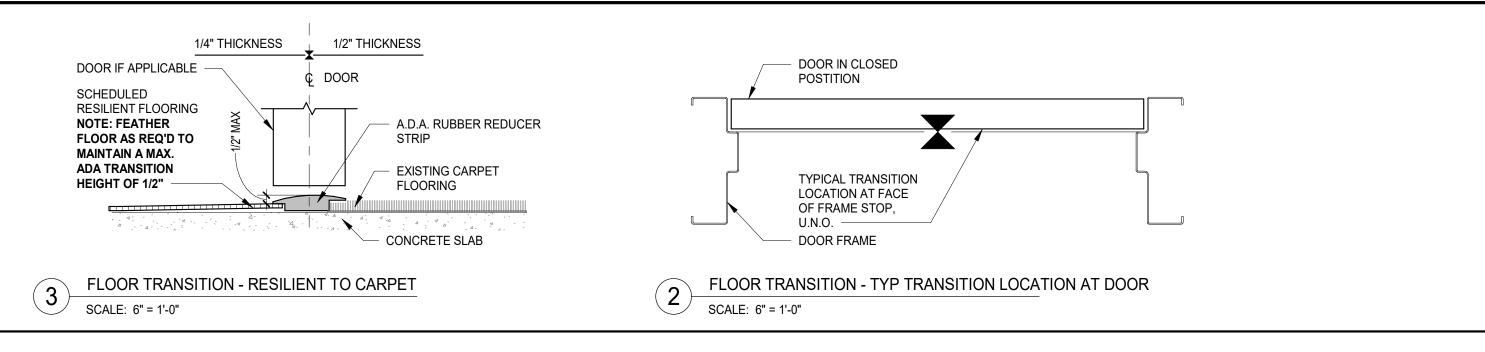
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CASEWORK PLANS, **ELEVATIONS, & DETAILS**

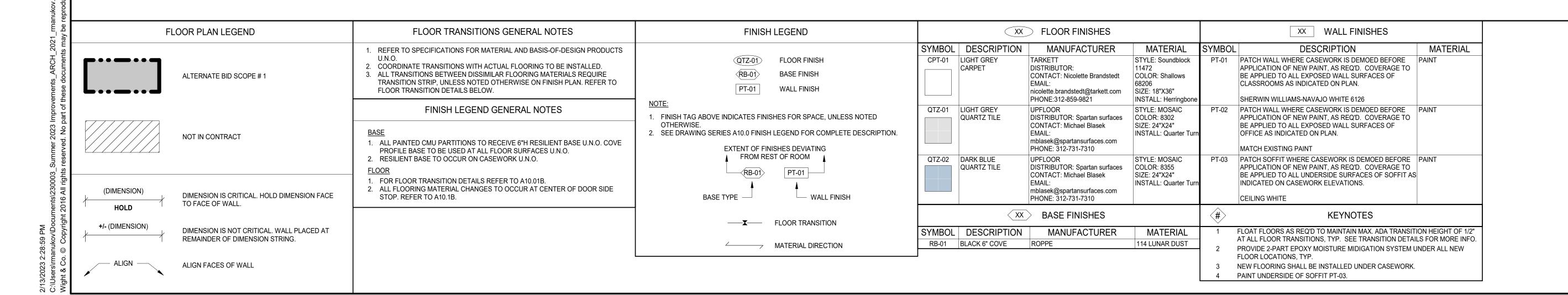
Project Number: 230003 Drawn By: C.C.

A9.02



SCALE: 1/8" = 1'-0"









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FINISH PLAN - FIRST FLOOR

Project Number: 230003
Drawn By: C.C.

A10.01